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| COA # 2014-COA-313 (HMP) | INDIANAPOLIS HISTORIC PRESERVATION COMMISSION | Hearing Date AUG. 6, 2014 |
| | STAFF REPORT | NEW CASE Center Twp. Council District 15 Vop Osili |
| | 2043 N. DELAWARE STREET HERRON-MORTON PLACE | |
| | Applicant ANTON TSINTSARSKI mailing address: 1024 N. New Jersey Street Indianapolis, IN 46202 | |
| | Owner: Same as above | |
| EXPEDITED CASE | | |
| IHPC COA: 2014-COA-313 (HMP) Construct a 2-story, single-family house with detached 3-car garage. | | |
| STAFF RECOMMENDATION: Approval | | |

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| STAFF COMMENTS |
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Background of the Property

This vacant parcel is located on the site of the former Indiana State Fair Grounds property. In 1898, a very large, single-family house was built on this site. It was later converted to 16 apartments. In 2008, the house was being renovated and converted back to single-family. During a period when the project had languished, the house caught fire and was significantly damaged. After the owner failed to demolish the building, IHPC granted Health and Hospital Corporation a COA and it was demolished in 2009.

Site Plan

The front setback of the main structure is 24 ft. The two nearest houses have setbacks of approximately 20, 25 ft. and 30 ft. The garage is setback 10 ft. from the alley, 6 ft. from the north property line, and 4 ft. from the south property line.

Design of the House and Garage

This modern two-story design features a variety of materials, creative fenestration, and gabled massing. It was designed by R & B Architects. The house is brown and beige brick and fiber-cement siding with a metal soffit system. The house contains many windows with contemporary details. The front of the house will contain a brick retaining wall to match the house as well as metal balcony over the front entry which doubles as a porch overhang. The overall shape and massing of the house is compatible with the area, but the house is clearly a product of today with its contemporary detailing. The garage is also brick and fiber cement like the house. The house is a good fit for this location and will be complimentary to the eclectic mix of architecture in the area.

Context

This house will be located in a block that has numerous vacant lots and several historic and new homes. It is smaller than the historic homes, as well as smaller than buildings across the street. However, it is very similar in scale to the house approved on the lot to the north which was also built by the applicant. The new house blends well with this design.

Herron-Morton Place Area Plan

The New Construction Guidelines provide some direction for reviewing this project and staff believes that the proposed design meets these guidelines:

Basic Principle: “New construction should reflect the design trends and concepts of the period in which it is created. New structures should be in harmony with the old and at the same time be distinguishable from the old so the evolution of Herron-Morton Place can be interpreted properly.”

Large Site Context: “context has been weakened [by extensive demolition]...a somewhat larger area than the immediate environment must also be looked to for context”

Style and Design: “Creativity and original design are encouraged. A wide range is theoretically possible, from modern to revivals, from simple to decorated.” Also, “Look for characteristic ways in which buildings are roofed, entered, divided into stories and set on foundations.”

Fenestration: “Creative expression with fenestration is not precluded, provided the result does not conflict with or draw attention from surrounding historic buildings.”

Materials: Visual compatibility between historic building materials and new materials “...can often be accomplished with some flexibility since building materials... have less impact on visual compatibility than larger scale visual elements.”

The massing and design of this house blends well with the streetscape along N. Delaware, relating to both the historic and new construction on the block.

STAFF RECOMMENDED MOTION

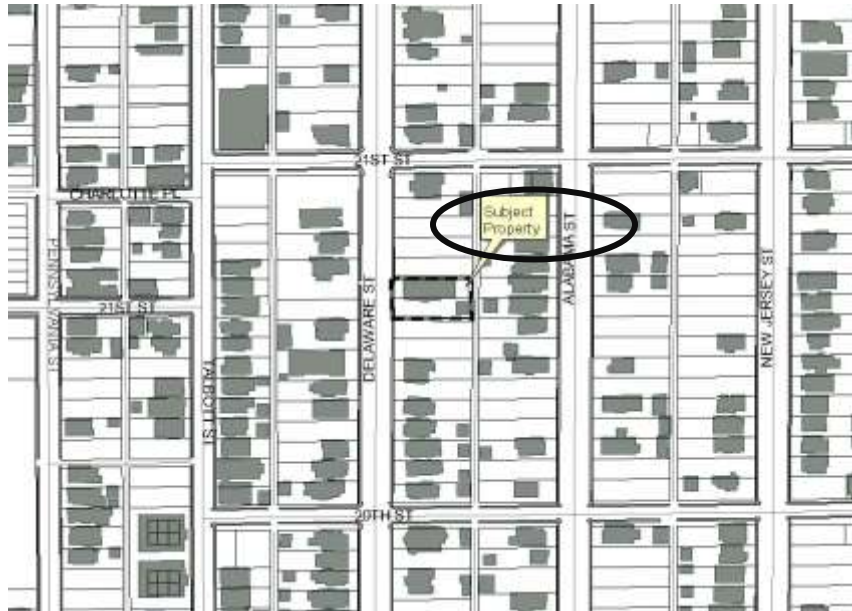
2014-COA-313 (HMP):

To approve a Certificate of Appropriateness for construction of a 2-story, single-family home with a detached, 3-car garage per the submitted documentation and subject to the following stipulations:

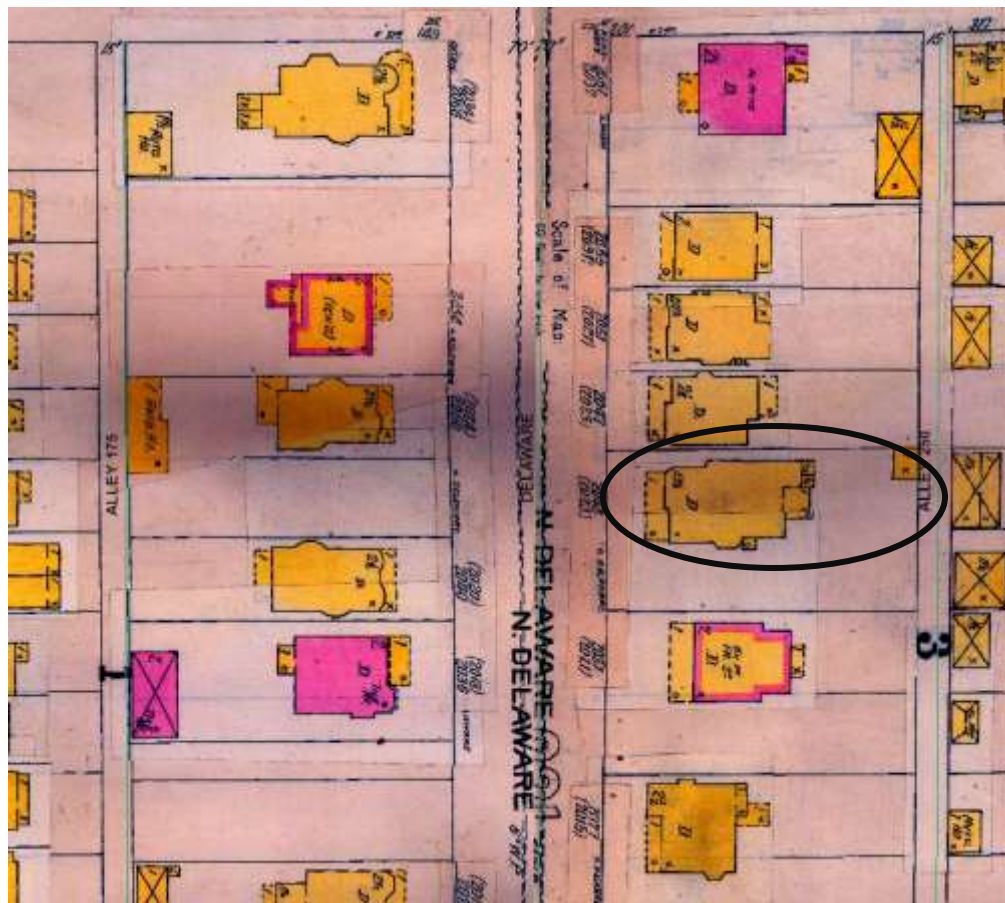
PERMITS MAY NOT BE ISSUED until stipulations number 1, 2 and 3 are fulfilled.

- 1. Construction must not commence prior to approval by the IHPC staff of final construction drawings. *Approved _____ Date _____***
- 2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction. *Approved _____ Date _____***
- 3. The site shall be field staked with no offsets and approved by IHPC staff prior to construction. *Approved _____ Date _____***
- 4. Boxed soffits (“bird boxes”) are not permitted. Rafter tails may be left exposed or sheathed with sloping soffit board parallel to pitch of roof.**
- 5. Wood or fiber-cement trim and siding shall have a smooth texture and be free of major imperfections. Rough-sawn finishes are not permitted. Siding reveal must match approved drawings.**
- 6. A durable marker indicating the date of construction must be incorporated into the front foundation of the house (not the porch) and approved by IHPC staff prior to installation.**
- 7. All utility wires and cables must be located underground. No installation of utilities or meter and mechanical placement shall commence prior to IHPC staff approval.**
- 8. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, etc.**
- 9. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.**

Staff Reviewer: Meg Purnsley



Map of subject property



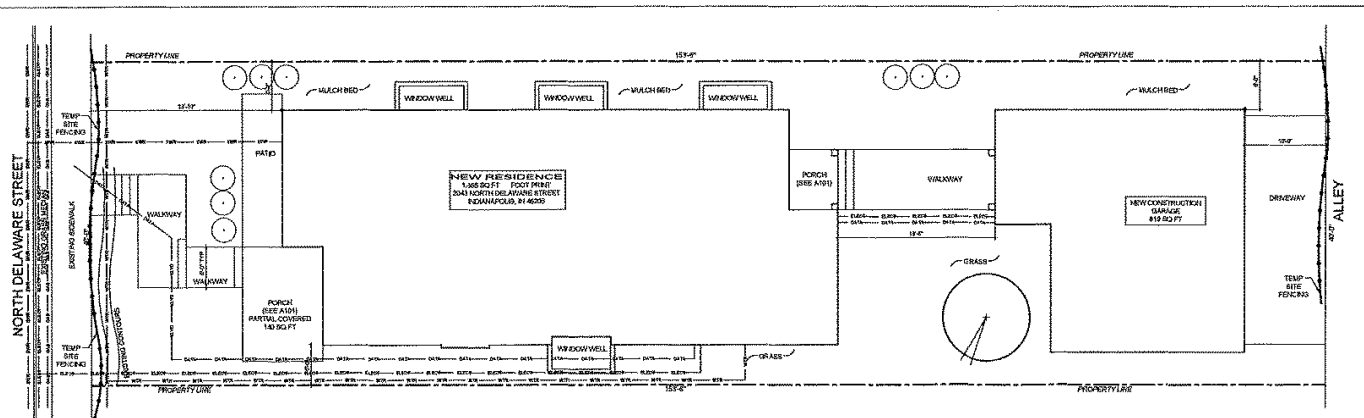
1898 Sanborn map



Aerial view of site



Rendering of the front of the proposed residence



Site Plan



Street Scapes

Elevation General Notes

CONTRACTOR SHALL ALLOW FOR UNLEVEL AND OUT OF PLUMB ADJACENT CONDITIONS. ADJUST NEWLY INSTALLED COMPONENTS AS REQUIRED.

ALL CAULKING SHALL BE COORDINATED BY THE PRIME CONTRACTOR. ALL COMPONENTS OF THE EXTERIOR WATER PROOFING SYSTEM SHALL BE SEALED WITH BACKER-ROD AND CAULK. EXPOSED CAULK SURFACE SHALL BE TOoled TO AN EVEN, SMOOTH APPEARANCE. COLOR OF CAULKS TO BE COORDINATED PRIOR TO INSTALLATION, WITH ARCHITECT.

SPECIFICATION TAGS - REFER TO SPECIFICATION SECTIONS

DIVISION 02 - GENERAL CONDITIONS

- 02 41 25 PROTECTION OF ADJACENT SITE, STRUCTURES, AND FIXTURES
- 02 41 91 SELECTIVE NON-STRUCTURAL DEMOLITION

DIVISION 03 - CONCRETE

- 03 30 00 CAST IN PLACE
- 03 41 00 PRECAST NON-STRUCTURAL CONCRETE

DIVISION 04 - MASONRY

- 04 05 10 MASONRY ANCHORAGE AND REINFORCING
- 04 05 23 MASONRY ACCESSORIES
- 04 21 33 BRICK MASONRY
- 04 22 00 CONCRETE MASONRY UNIT
- 04 43 00 STONE MASONRY
- 04 50 00 CAST-STONE MASONRY

DIVISION 05 - METALS

- 05 12 00 STRUCTURAL STEEL FRAMING
- 05 51 00 METAL STAIRS
- 05 52 13 RAILINGS
- 05 53 00 METAL GRATINGS
- 05 70 00 DECORATIVE METALS

DIVISION 06 - WOOD, PLASTIC, AND COMPOSITES

- 06 10 00 ROUGH CARPENTRY
- 06 16 00 SHEATHING
- 06 16 03 CEMENTITIOUS SHEATHING
- 06 43 13 WOOD STAIRS & RAILING

DIVISION 07 - THERMAL AND MOISTURE PROTECTION

- 07 13 53 ELASTOMERIC SHEET WATERPROOFING
- 07 19 00 WATER REPELLENT
- 07 21 00 THERMAL INSULATION
- 07 53 23 EPDM ROOFING AND FLASHING
- 07 62 00 SHEET METAL FLASHING AND TRIM
- 07 71 13 MANUFACTURED COPING
- 07 71 23 MANUFACTURED GUTTERS & DOWNSPOUTS
- 07 92 00 JOINT SEALANTS & BACKER RODS
- 07 95 00 EXPANSION CONTROL

DIVISION 08 - OPENINGS

- 08 11 13 HOLLOW METAL DOORS AND FRAMES
- 08 14 10 WOOD DOORS AND FRAMES - INTERIOR
- 08 14 33 STYLE AND RAIL WOOD DOORS
- 08 41 13 ALUMINUM STOREFRONTS
- 08 52 00 WOOD WINDOWS, ALUMINUM CLAD
- 08 70 00 DOOR & WINDOW HARDWARE
- 08 81 00 GLAZING

DIVISION 09 - FINISHES

- 09 21 10 GYPSUM BOARD ASSEMBLIES
- 09 22 10 NON LOAD-BEARING STEEL FRAMING
- 09 31 33 DIMENSION STONE & CERAMIC TILING
- 09 51 23 ACOUSTICAL PANEL CEILING
- 09 91 13 EXTERIOR PAINTING
- 09 93 13 EXTERIOR STAINING AND FINISHING

DIVISION 22 - PLUMBING

- 22 30 00 PLUMBING FIXTURES

DIVISION 26 - ELECTRICAL

- 26 56 00 EXTERIOR ARCHITECTURAL LIGHTING

Elevation Legend

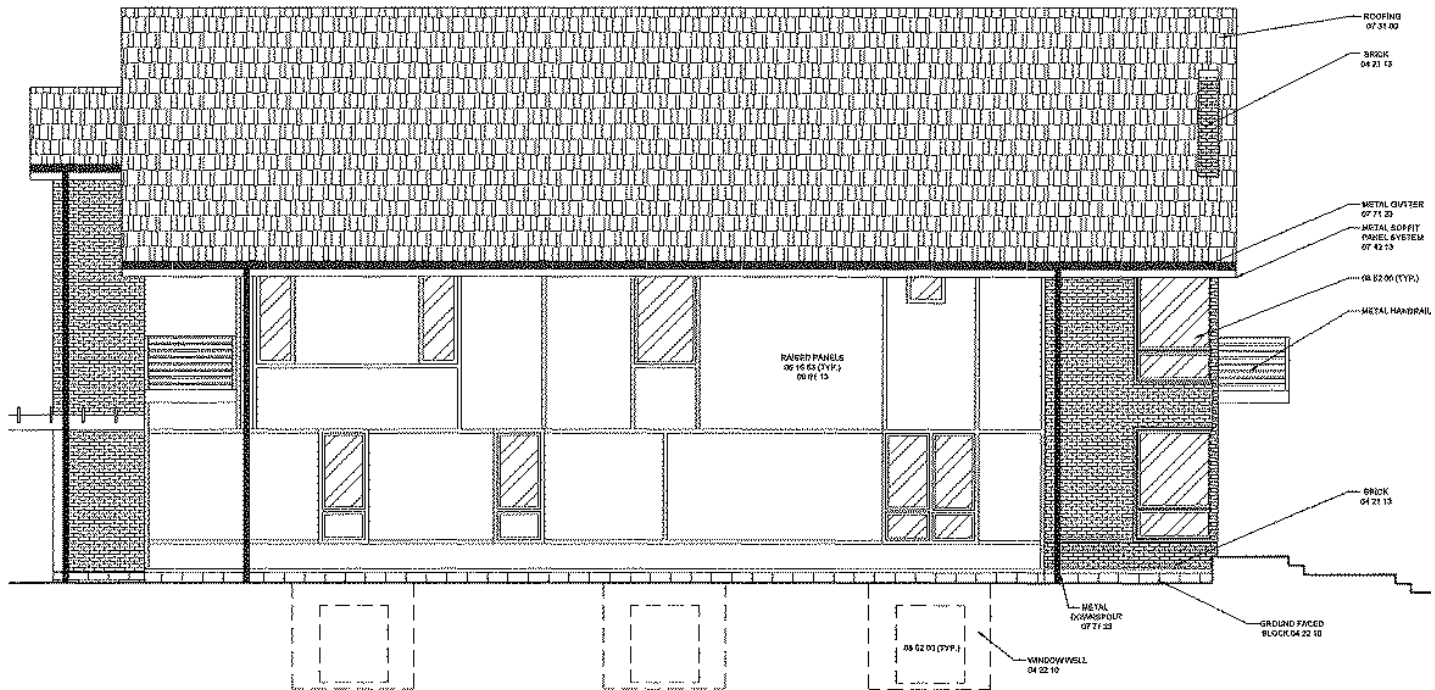
8 ELEVATION NOTE

1 WINDOW TAG

AS.1 ENLARGED PLAN & DETAIL TAG, INDICATES DRAWING #1 ON SHEET AS.1

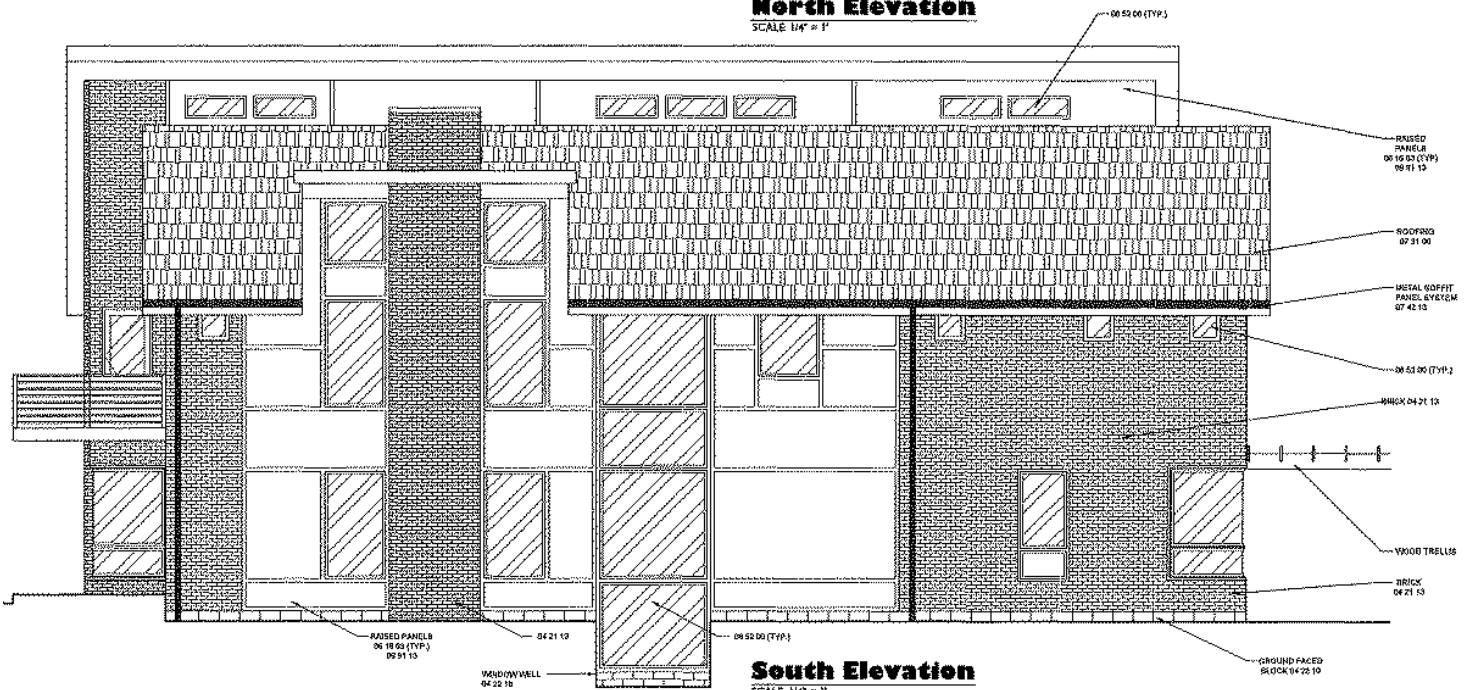
AS.1 ELEVATION TAG INDICATES ELEVATION #1 ON SHEET AS.1

AS.1 SECTION TAG INDICATES SECTION #1 ON SHEET AS.1



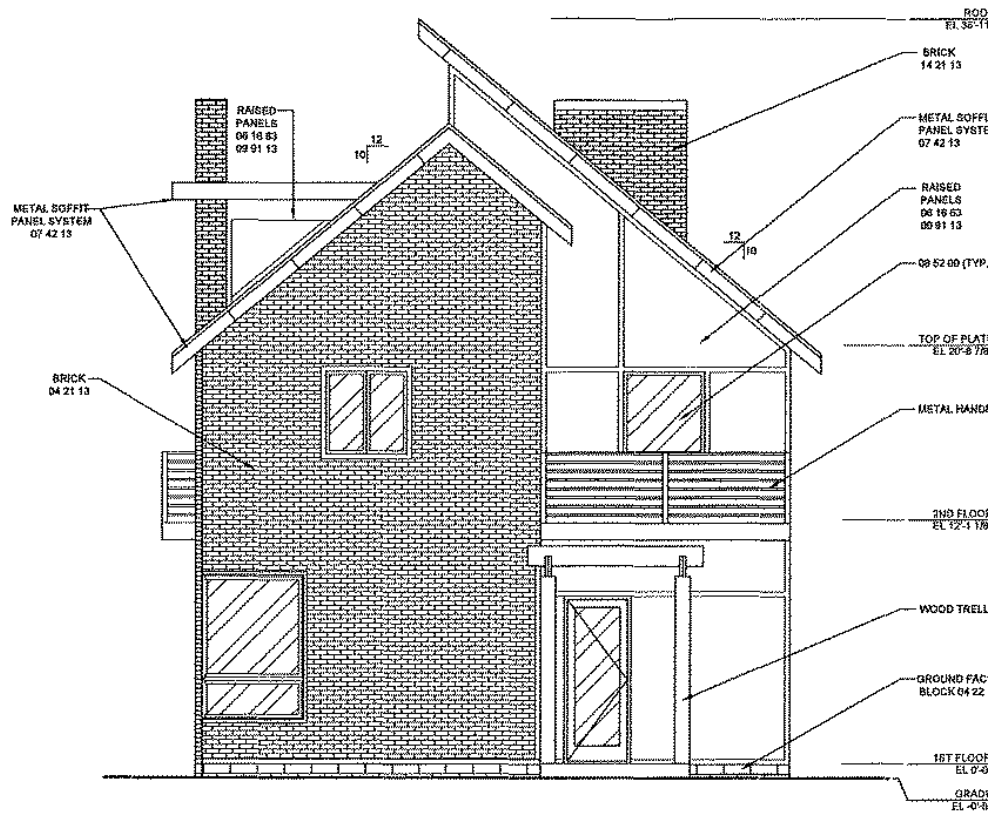
North Elevation

SCALE 1/4" = 1'



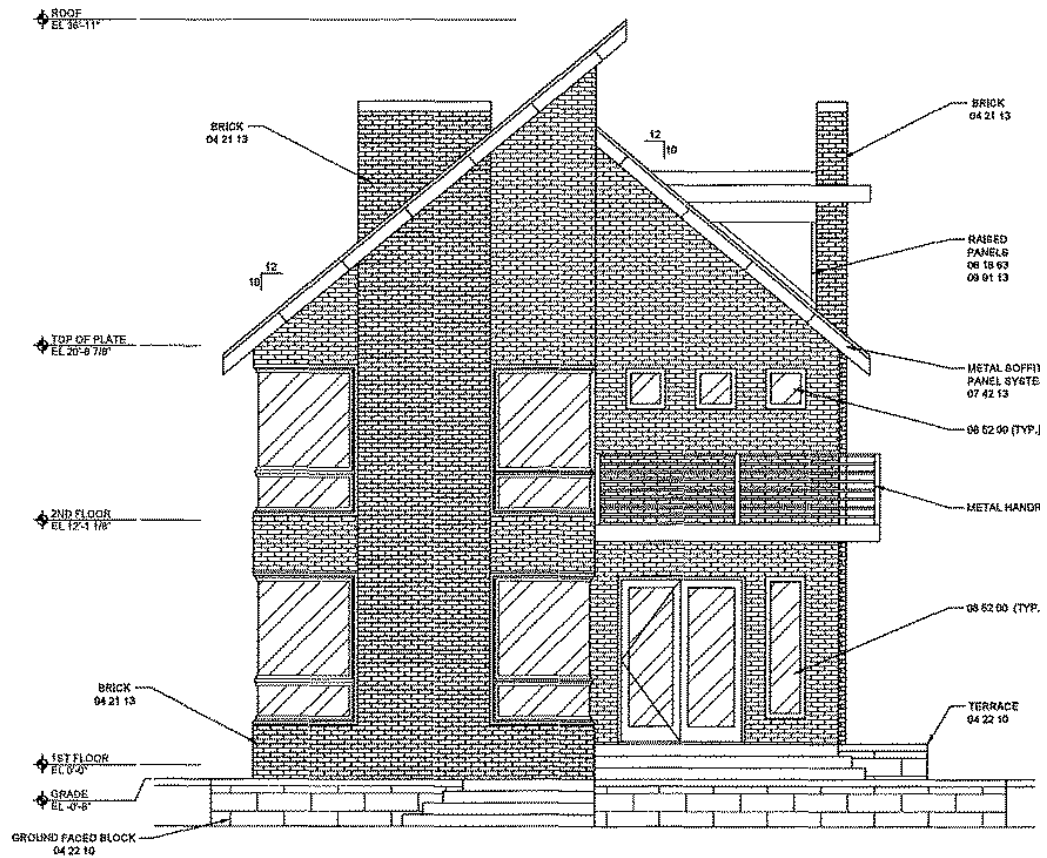
South Elevation

SCALE 1/4" = 1'



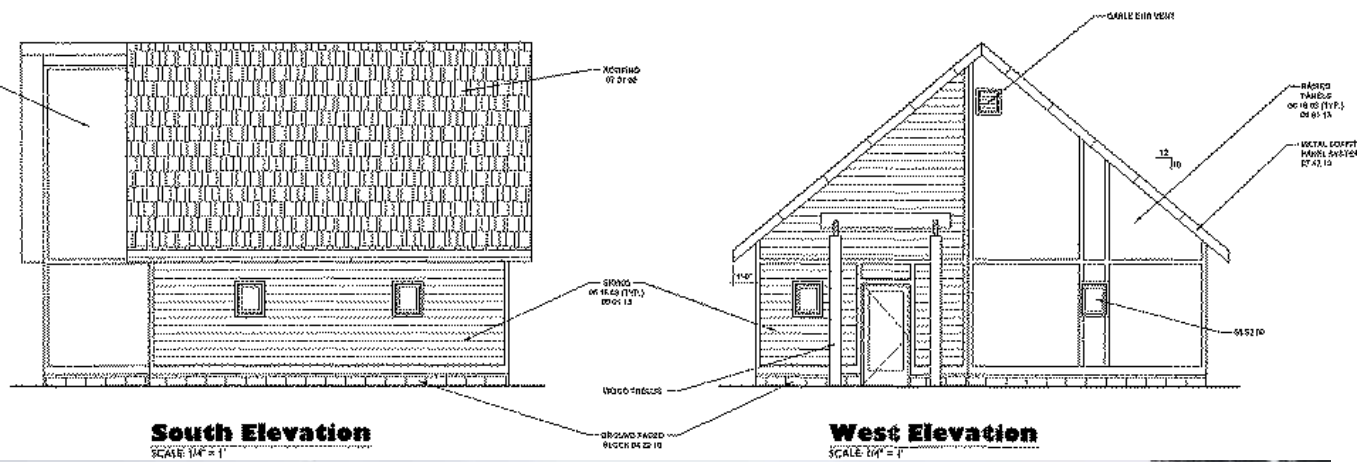
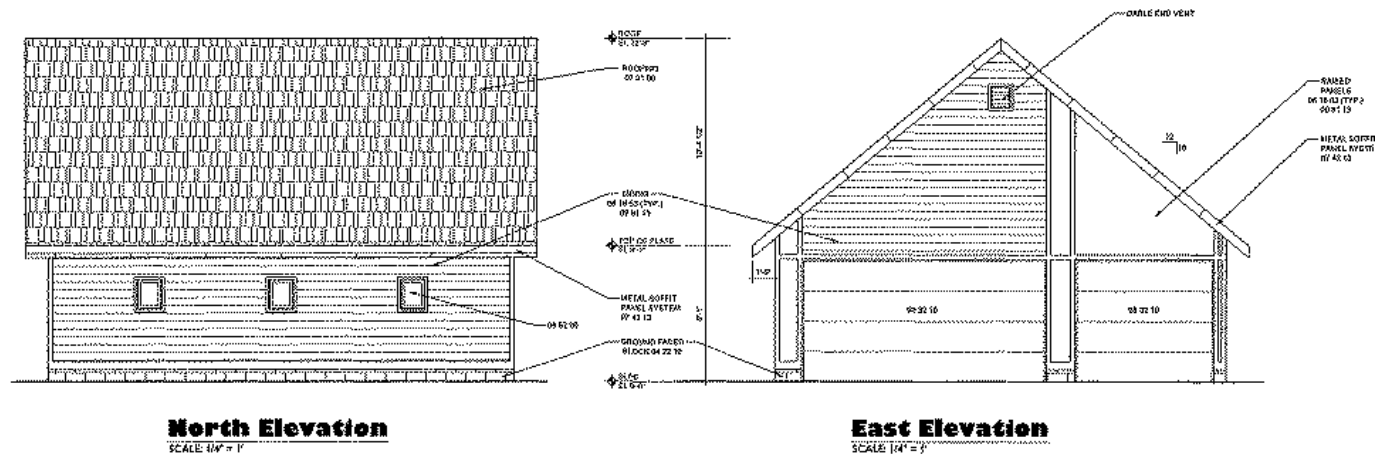
East Elevation

SCALE: 1/4" = 1'



West Elevation

SCALE: 1/4" = 1'



House to the north, also designed by R and B Architects for the same applicant.



Neighboring house – north



Nearest neighboring house – south

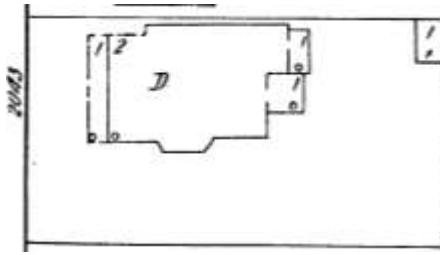


Context across the street, looking southwest

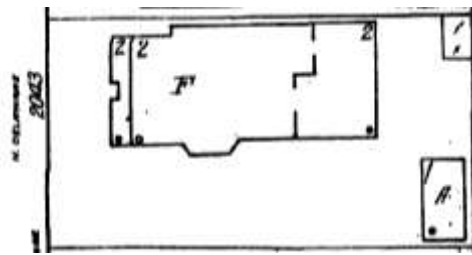


Context across the street

PREVIOUS HOUSE THAT OCCUPIED THE SITE



1898 Sanborn Map



1948 Sanborn Map



1917 – At time of conversion to apartments



1986-7 – At time of designation